



DECKS

**INCLUDED: LIST OF REQUIREMENTS
DECK DESIGN MATRIX
APPLICATION FORM
SAMPLE DRAWINGS**

**TOWN OF AJAX
BUILDING APPROVALS SECTION**

DECKS

A GUIDE TO OBTAINING A BUILDING PERMIT

The information contained within this guide is provided to assist home owners and contractors with the process of applying for and obtaining a building permit to construct a deck.

When is a permit required for a deck?

Building permits are required for decks that are greater than 600 mm (23 5/8 in.) above adjacent ground **and/or** structurally attached to the house or any other building with a foundation.

Be advised that even though a building permit may not be required the required zoning provisions must be maintained.

Information required to be submitted for a building permit

Submissions for a building permit shall include the following information:

- Completed Building Permit Application
- Completed Deck Design Matrix
- Building Permit Fee pursuant to the current Town of Ajax Building By-law
- Two copies of the legal survey or site plan indicating all buildings and proposed construction on the property, their proximity by dimension to the property lines, and lot coverage.
- Two copies of detailed construction drawings indicating all of the structural components of the proposed construction: piers, posts, beams, joists, attachment, guards.
- If the proposed structure will be adjacent to a septic system then approval for its location shall be obtained from the Durham Regional Health Department.

Guide includes:

- Building permit application
- Deck Design Matrix
- Sample construction drawings

Guard (Railings) and Handrail Design

The Ontario Building Code (OBC) requirements for the construction of exterior guards and handrails are restrictive. Wood guards are required to be constructed in accordance with Supplementary Standard SB-7 to the Ontario Building Code.

Engineered guards must comply with the latest Ontario Building Code, specifications detailing the guard construction and connection to the structure are required.

**TOWN OF AJAX
BUILDING APPROVALS SECTION**

Zoning Requirements

Provided below is a comprehensive zoning chart for determining the required setbacks that shall be maintained in locating the deck on the property. Should you have any questions regarding this chart or require additional zoning information please contact Planning personnel, 905-619-2529, ext. 3631.

Regulation	Requirements		
	Height above finished ground level		
	More than an finished ground level to 0.6 m	0.6 m to 1.2 m	More than 1.2 m
Maximum coverage/area	50% of yard in which it is located	50% of yard in which it is located	30 m ² (not exceeding 50% of yard in which it is located)
Min. exterior side yard setback	May encroach 2.5 m out from main building wall, but no closer to exterior side lot line than 3.5 m*	May encroach 2.5 m out from main building wall, but no closer to exterior side lot line than 1.5 m*	Must meet setback requirements for individual zones
Min. interior side yard setback	Must meet setback requirements for individual zones	Must meet setback requirements for individual zones	Must meet setback requirements for individual zones
Min. rear yard setback	1.8 m	1.8 m	4 m
Min. front yard setback	May encroach 2.5 m out from main building wall, but no closer to front lot line 3.5m*	May encroach 2.5 m out from main building wall, but no closer to front lot line 3.5m*	Must meet setback requirements for individual zones

* Except for in the following zones: R4.A, R4.B, R5A, R7.A, R7B, R7.E, R7.G, R8.A, R8.B, R8.D, R8.E and R8.F where Section 6.123 applies; R3.1, R4.C, R5.B, R7.C, R7.D AND R8.G where Section 6.124 applies; and in R5.A, R7.A and R8.A where Section 6.125 applies.

Should you have any questions regarding the information contained within this guide or require any additional information with regards to building permits, please contact the:

Building Approvals Section at 905-619-2529, ext. 3652

Planning Section (zoning inquires) at 905-619-2529, ext. 3631

**TOWN OF AJAX
BUILDING APPROVALS SECTION**

Deck Design Matrix			
Name of Owner: _____	Phone #: _____		
Address of Property: _____			
Contractor Name: _____		Phone #: _____	
Location of Deck:	Front Yard <input type="checkbox"/>	Side Yard <input type="checkbox"/>	Rear Yard <input type="checkbox"/>
Size (Area) of Deck: _____ sq. ft. or _____ sq. m.			
Attached to house: Yes <input type="checkbox"/> No <input type="checkbox"/>			
Height of deck from grade to top of deck boards _____ ft. or _____ m.			
<p>Where the height of a deck is greater than 600mm (23-5/8 in.) above grade and/or attached to the structure, guards (railings) are to comply with the Ontario Building Code 2012, Subsection 9.8.8. and Section SB-7 of the OBC supplement or be engineered. If engineered, Professional Engineered stamped drawings are required.</p>			
Height of Guard (Railing): _____			
Type of Guard (Railing) Proposed: (check one of the following below)			
<input type="checkbox"/> Cantilevered Pickets as per SB-7 Details	<input type="checkbox"/> Post & Rail as per SB-7 Details	<input type="checkbox"/> Engineered Guard i.e. Aluminium or Glass	
Wood Guard Design: Check which details refer to SB-7 guard design:			
Rails:	Post Connections:	Pickets:	Cantilevered Guards must conform to:
EA-1 <input type="checkbox"/>	EB-1 <input type="checkbox"/>	EC-1 <input type="checkbox"/>	ED-1
EA-2 <input type="checkbox"/>	EB-2 <input type="checkbox"/>	EC-2 <input type="checkbox"/>	ED-2
EA-3 <input type="checkbox"/>	EB-3 <input type="checkbox"/>	EC-3 <input type="checkbox"/>	ED-3
EA-4 <input type="checkbox"/>	EB-4 <input type="checkbox"/>	EC-4 <input type="checkbox"/>	ED-4
EA-5 <input type="checkbox"/>	EB-5 <input type="checkbox"/>		ED-5
Type of Wood Proposed: (indicate presure treated pine, cedar, spruce, engineered composite)		Posts _____	
		Joists _____	
		Decking _____	



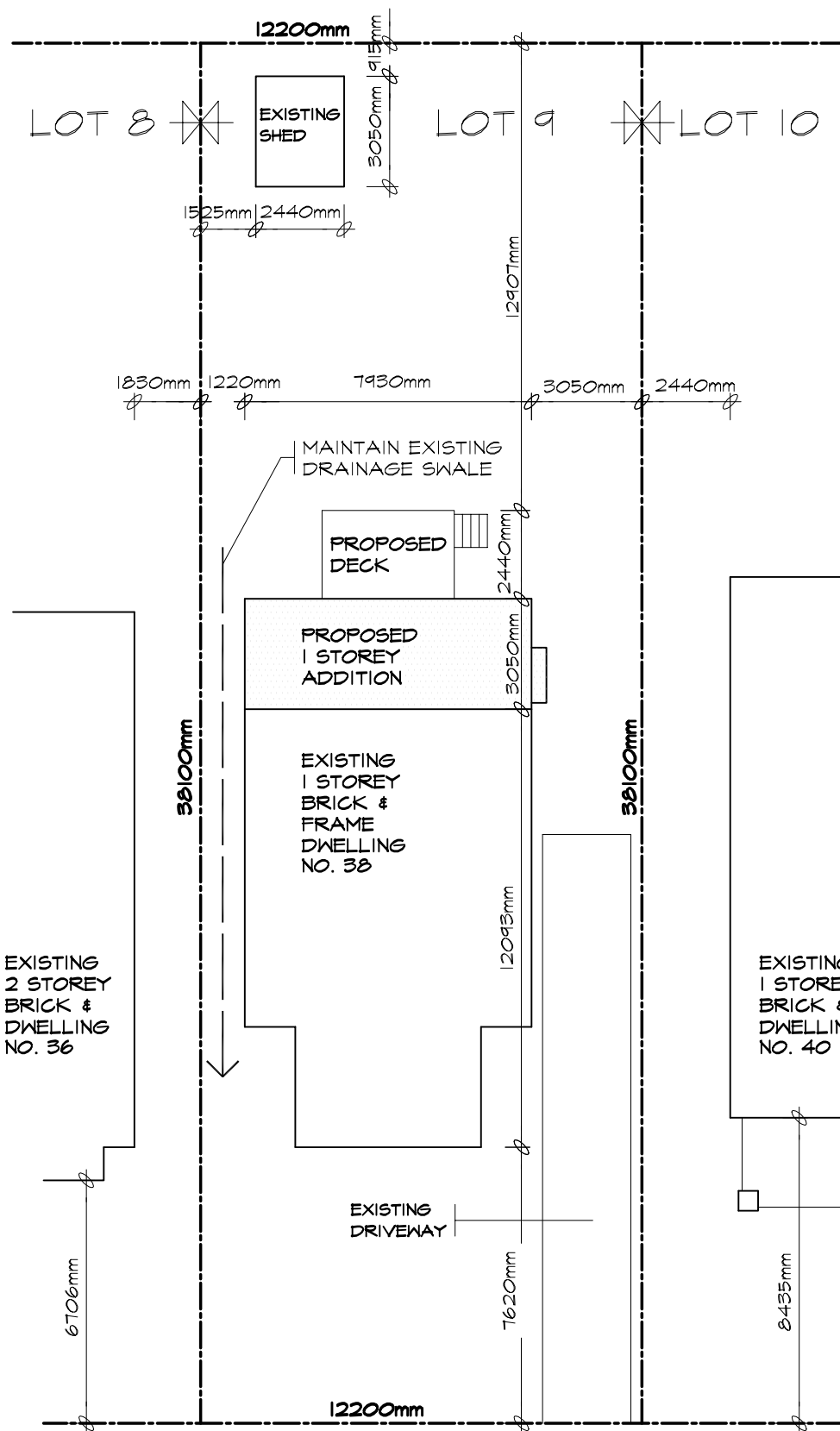
Application for a Permit to Construct or Demolish

This form is authorized under subsection 8(1.1) of the *Building Code Act, 1992*

For use by Principal Authority			
Application number:		Permit number (if different):	
Date received:		Roll number:	
Application submitted to: <u>Town of Ajax</u>			
A. Project information			
Building number, street name		Unit number	Lot/con.
Municipality	Postal code	Plan number/other description	
Project value est. \$		Area of work (m ²)	
B. Purpose of application			
<input type="checkbox"/> New construction <input type="checkbox"/> Addition to existing building <input type="checkbox"/> Alteration/repair <input type="checkbox"/> Demolition <input type="checkbox"/> Conditional permit			
		Current use of building	
Description of proposed work			
C. Applicant			
Applicant is: <input type="checkbox"/> Owner or <input type="checkbox"/> Authorized agent of owner			
Last name	First name	Corporation or partnership	
Street address		Unit number	Lot/con.
Municipality	Postal code	Province	E-mail
Telephone number ()	Fax ()	Cell number ()	
D. Owner (if different from applicant)			
Last name	First name	Corporation or partnership	
Street address		Unit number	Lot/con.
Municipality	Postal code	Province	E-mail
Telephone number ()	Fax ()	Cell number ()	

E. Builder (optional)				
Last name		First name	Corporation or partnership (if applicable)	
Street address			Unit number	Lot/con.
Municipality		Postal code	Province	E-mail
Telephone number ()		Fax ()		Cell number ()
F. Tarion Warranty Corporation (Ontario New Home Warranty Program)				
i. Is proposed construction for a new home as defined in the <i>Ontario New Home Warranties Plan Act</i> ? If no, go to section G.			<input type="checkbox"/> Yes	<input type="checkbox"/> No
ii. Is registration required under the <i>Ontario New Home Warranties Plan Act</i> ?			<input type="checkbox"/> Yes	<input type="checkbox"/> No
iii. If yes to (ii) provide registration number(s): _____				
G. Required Schedules				
i) Attach Schedule 1 for each individual who reviews and takes responsibility for design activities.				
ii) Attach Schedule 2 where application is to construct on-site, install or repair a sewage system.				
H. Completeness and compliance with applicable law				
i) This application meets all the requirements of clauses 1.3.1.3 (5)(a) to (d) of Division C of the Building Code (the application is made in the correct form and by the owner or authorized agent, all applicable fields have been completed on the application and required schedules, and all required schedules are submitted). Payment has been made of all fees that are required, under the applicable by-law, resolution or regulation made under clause 7(1)(c) of the <i>Building Code Act, 1992</i> , to be paid when the application is made.			<input type="checkbox"/> Yes	<input type="checkbox"/> No
ii) This application is accompanied by the plans and specifications prescribed by the applicable by-law, resolution or regulation made under clause 7(1)(b) of the <i>Building Code Act, 1992</i> .			<input type="checkbox"/> Yes	<input type="checkbox"/> No
iii) This application is accompanied by the information and documents prescribed by the applicable by-law, resolution or regulation made under clause 7(1)(b) of the <i>Building Code Act, 1992</i> which enable the chief building official to determine whether the proposed building, construction or demolition will contravene any applicable law.			<input type="checkbox"/> Yes	<input type="checkbox"/> No
iv) The proposed building, construction or demolition will not contravene any applicable law.			<input type="checkbox"/> Yes	<input type="checkbox"/> No
I. Declaration of applicant				
I _____ declare that: (print name)				
1. The information contained in this application, attached schedules, attached plans and specifications, and other attached documentation is true to the best of my knowledge.				
2. If the owner is a corporation or partnership, I have the authority to bind the corporation or partnership.				
_____ Date		_____ Signature of applicant		

Personal information contained in this form and schedules is collected under the authority of subsection 8(1.1) of the *Building Code Act, 1992*, and will be used in the administration and enforcement of the *Building Code Act, 1992*. Questions about the collection of personal information may be addressed to: a) the Chief Building Official of the municipality or upper-tier municipality to which this application is being made, or, b) the inspector having the powers and duties of a chief building official in relation to sewage systems or plumbing for an upper-tier municipality, board of health or conservation authority to whom this application is made, or, c) Director, Building and Development Branch, Ministry of Municipal Affairs and Housing 777 Bay St., 2nd Floor. Toronto, M5G 2E5 (416)585-6666.



SITE PLAN

SCALE 1:200

SKETCH OF SURVEY OF
LOT 9
REG.'D PLAN 4220
CITY OF TORONTO
B.C. TRANSIT. O.L.S.
DECEMBER 31ST, 1999

KHALMUR CRESCENT

ZONING	LOT NO:		PLAN NO:		LOT AREA		LOT FRONTAGE		LOT DEPTH	
R2 Z0.6	LOT 9		4220		580.64m ²		12200mm		38110mm	
DESCRIPTION	EXISTING	ADDITION	TOTAL	%	ALLOWED	%	SETBACKS	EXISTING	PROPOSED	
LOT COVERAGE	86.52m ²	24.15m ²	110.65m ²	19.0	-----		FRONT YARD	7620mm	7620mm	
GROSS FLOOR AREA	86.52m ²	24.15m ²	110.65m ²	19.0	348.39m ²	60.0	REAR YARD	18390mm	12907mm	
LANDSCAPED AREA	-----	-----	-----		-----		INTERIOR SIDE (east)	3050mm	3050mm	
NO. OF STORIES HEIGHT	1 STOREY 4550mm	1 STOREY 4550mm	1 STOREY 4550mm		10000mm		INTERIOR SIDE (west)	1220mm	1220mm	
WIDTH	7930mm	7930mm	7930mm		-----		EXTERIOR	-----	-----	
DEPTH	12093mm	3050mm	15143mm		17000mm					
PARKING	-----	-----	-----		-----					

NOTE: ZONING RESTRICTIONS VARY IN EVERY MUNICIPALITY. CONTACT YOUR LOCAL MUNICIPAL OFFICE FOR SPECIFIC SETBACKS AND OTHER LIMITATIONS IN YOUR AREA.

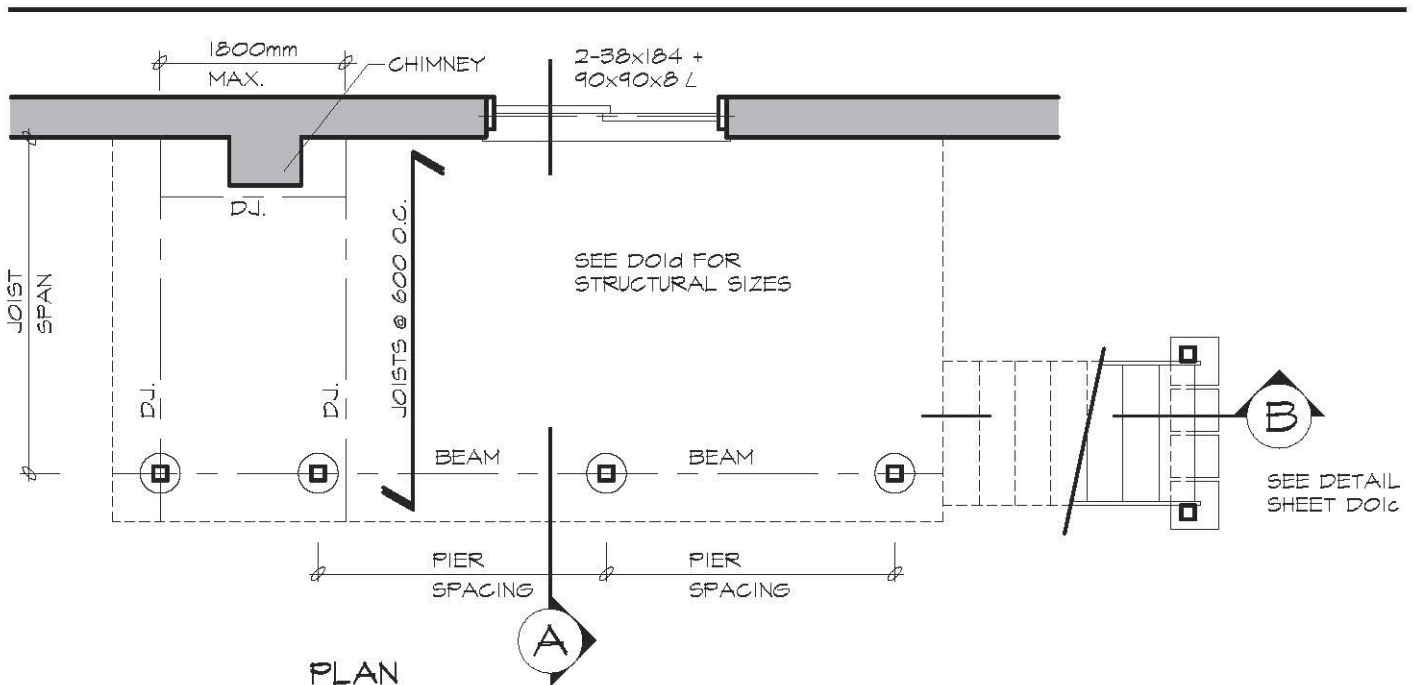
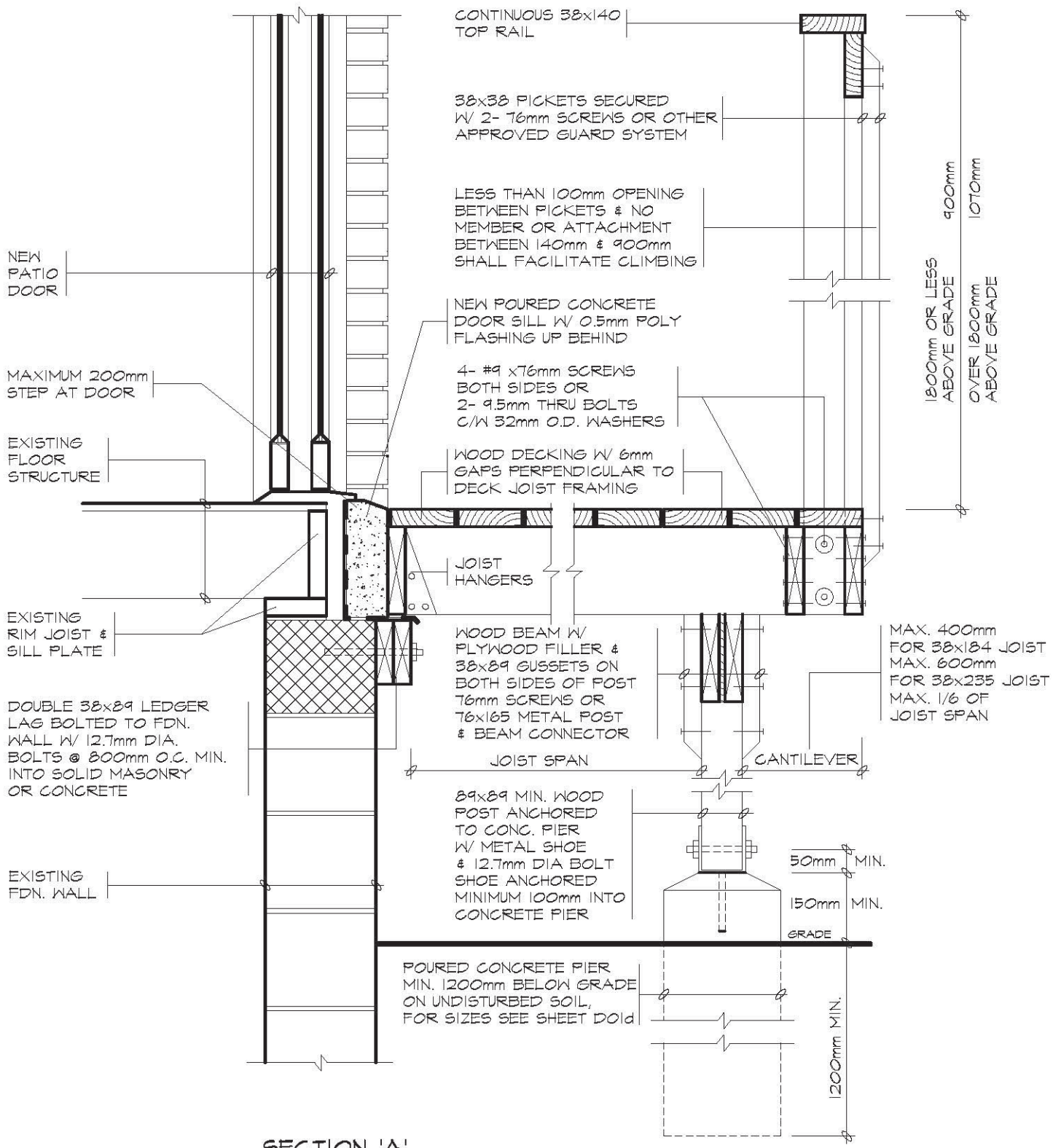
TACBOC
STANDARD DETAIL

TITLE
SAMPLE DRAWING
SITE PLAN

DWG. NO.

A03a

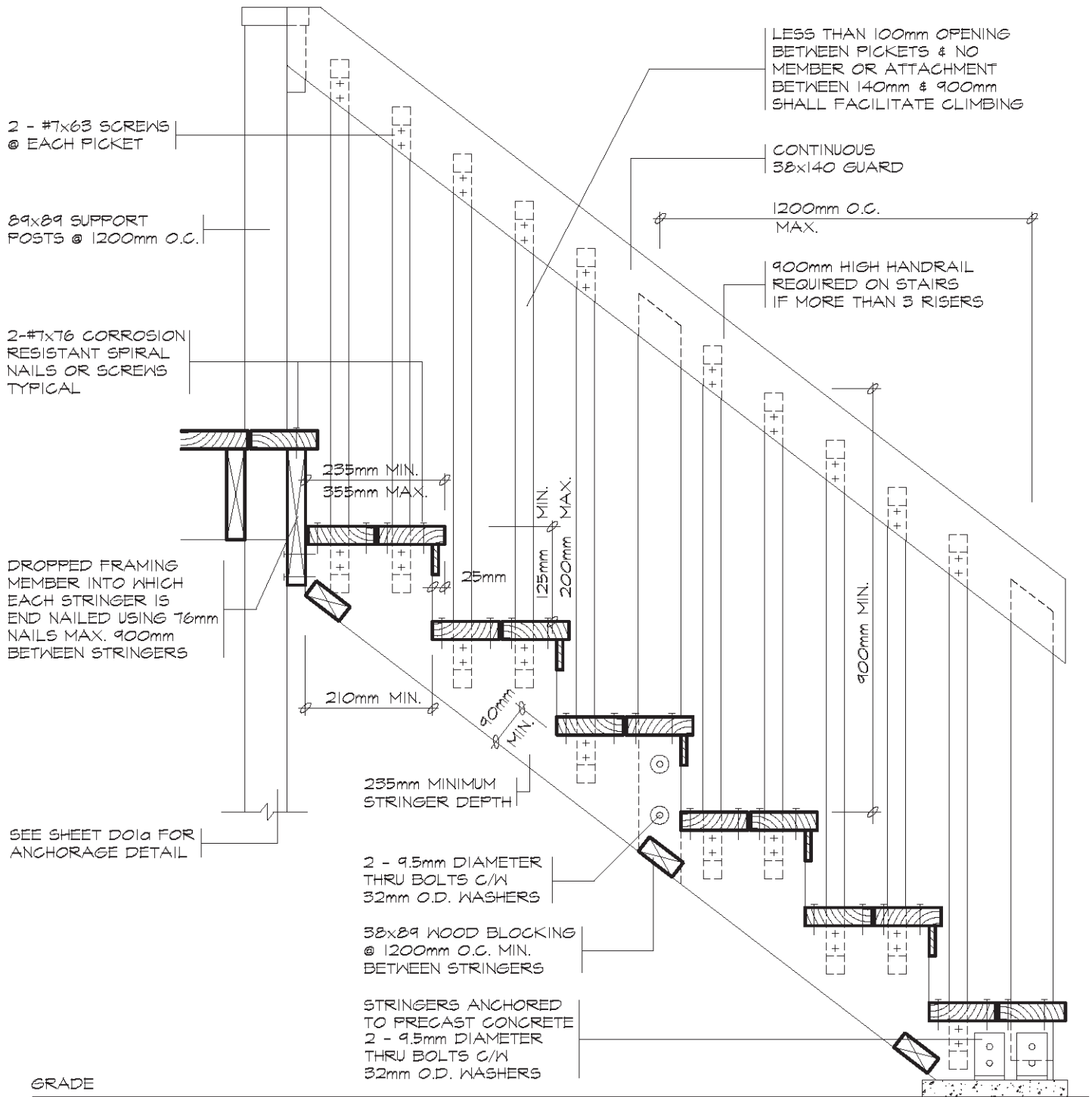
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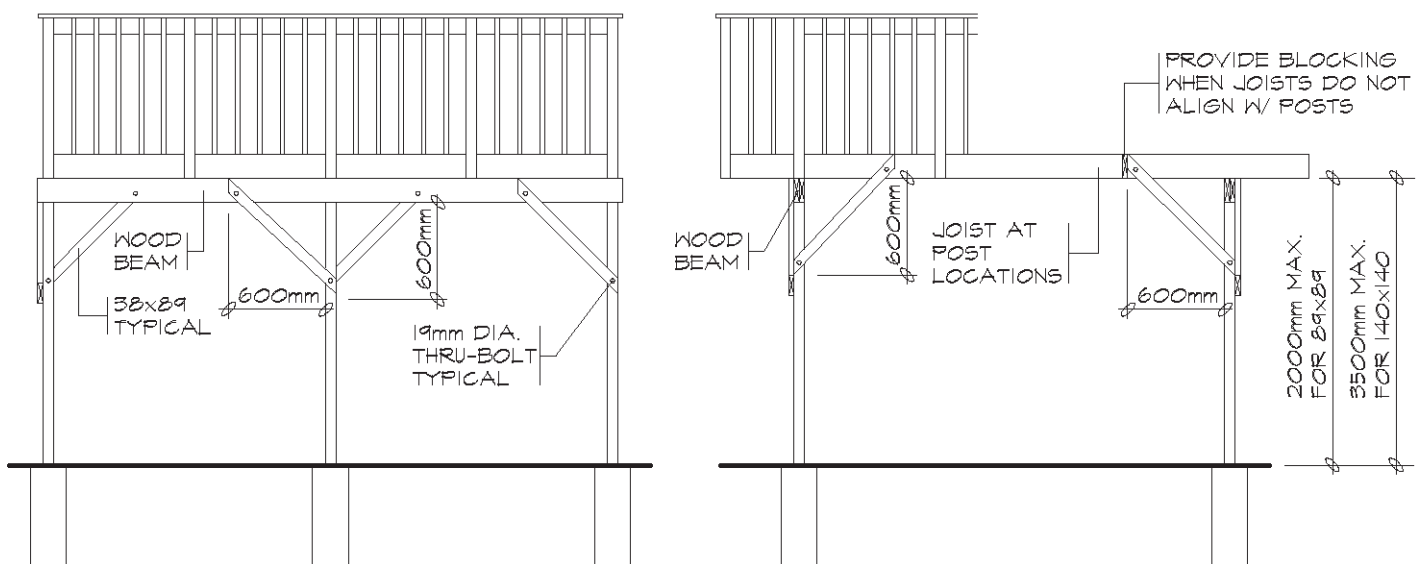
TACBOC
STANDARD DETAIL

TITLE
WOOD DECK
FIXED TO SOLID MASONRY FOUNDATION WALL
PLAN & SECTION

DWG. NO.
D01a
2007



SECTION 'B'



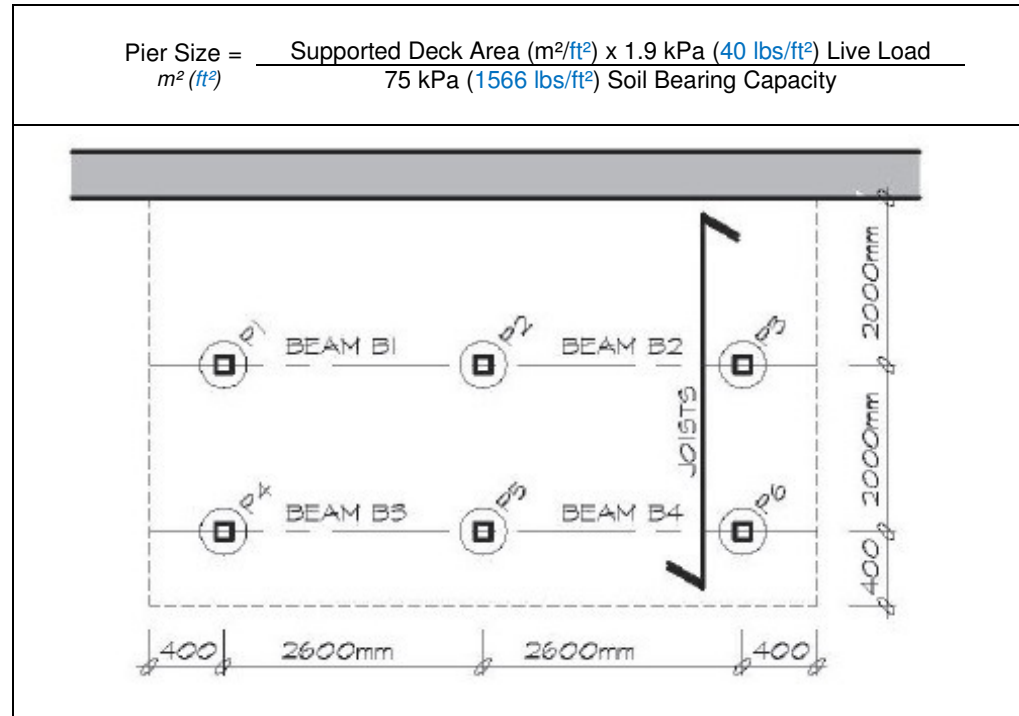
BRACING PARALLEL TO BEAM

BRACING PERPENDICULAR TO BEAM

FREE STANDING DECKS GREATER THAN 600mm ABOVE GRADE SHALL RESIST LATERAL LOADING & MOVEMENT. ALL POSTS MUST BE BRACED WHERE THE SUPPORTED AREA EXCEEDS THOSE LISTED IN THE TABLE ON D01d

Structural Sizing Table

Example Plan metric/imperial	Piers	Supported Deck Area
	P1	2 x 1.7 = 3.4 m ² 6.56 x 5.57 = 36.54 ft ²
	P2	2 x 2.6 = 5.2 m ² 6.56 x 8.53 = 55.96 ft ²
	P3	2 x 1.7 = 3.4 m ² 6.56 x 5.57 = 36.54 ft ²
	P4	2 x 1.7 = 3.4 m ² 6.56 x 5.57 = 36.54 ft ²
	P5	1.4 x 2.6 = 3.6 m ² 4.59 x 8.53 = 39.15 ft ²
	P6	1.4 x 2.6 = 3.6 m ² 4.59 x 8.53 = 39.15 ft ²
	Beams	Supported Joist Length
	B1 & B2	2.0 m / 6'-6"
	B3 & B4	1.4 m / 4'-7"
Beam Span	= 2.6 m / 8'-6"	
Joist Span	= 2.0 m / 6'-6"	



Pier Sizing	
Diameter	m ² /ft ²
200 mm Ø	0.03
8 in Ø	0.32
250 mm Ø	0.05
10 in Ø	0.54
300 mm Ø	0.08
12 in Ø	0.86
350 mm Ø	0.1
14 in Ø	1.07
400 mm Ø	0.13
16 in Ø	1.4
500 mm Ø	0.2
20 in Ø	2.15
600 mm Ø	0.3
24 in Ø	3.23

Beam Sizing				
Supported Joist Length	Live Load 1.9 kPa 40 lbs/ft ²			
	Pier Spacing			
	metric*	imperial		
	2.0 m 6'-6"	3.0 m 9'-10"	4.0 m 13'-1"	
1.5 m 4'-11"	2/38x184 2/2x8	2/38x184 2/2x8	3/38x235 3/2x10	
2.0 m 6'-6"	2/38x184 2/2x8	3/38x184 3/2x8	3/38x235 3/2x10	
2.5 m 8'-2"	2/38x184 2/2x8	2/38x235 2/2x10	3/38x286 3/2x12	
3.0 m 9'-10"	2/38x184 2/2x8	2/38x235 2/2x10	3/38x286 3/2x12	
3.5 m 11'-5"	2/38x184 2/2x8	3/38x235 3/2x10	3/38x286 3/2x12	
4.0 m 13'-1"	2/38x184 2/2x8	3/38x235 3/2x10	4/38x286 4/2x12	

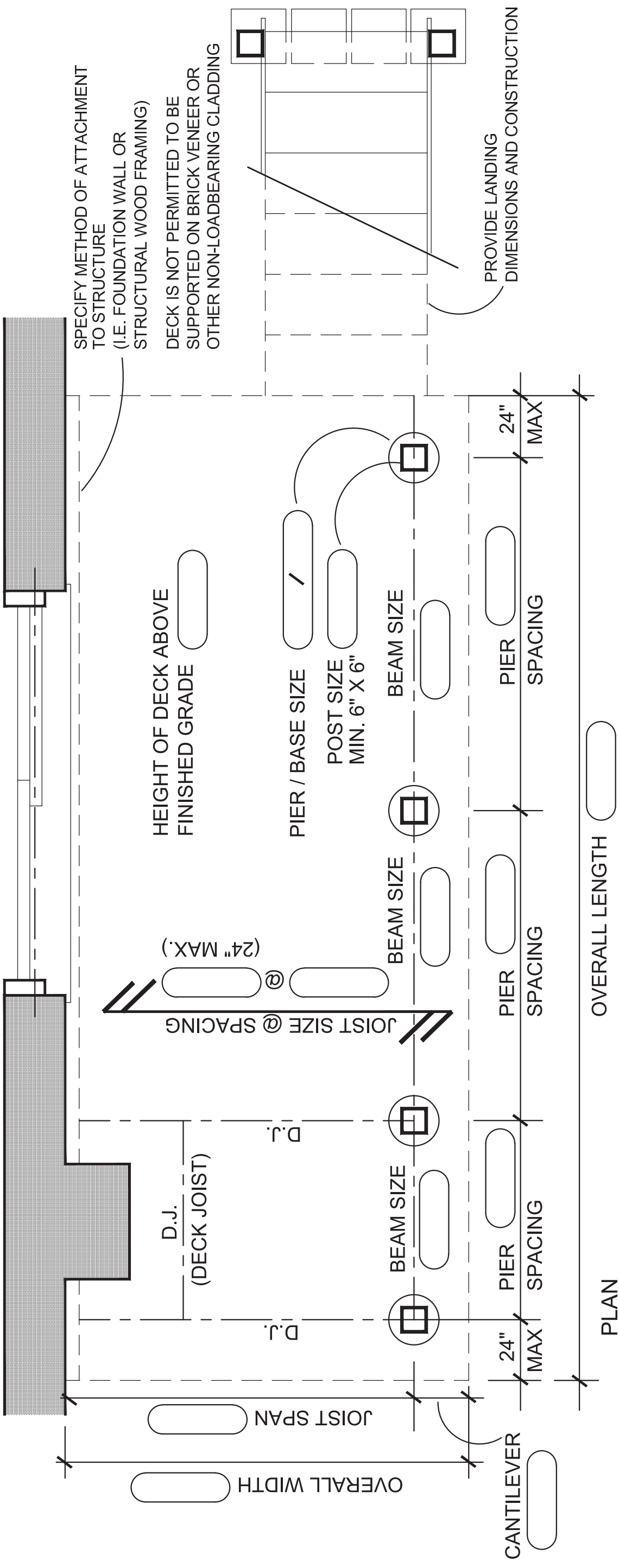
Joist Sizing				
Joist Span	Live Load 1.9 kPa 40 lbs/ft ²			
	Joist Spacing O.C.			
	metric*	imperial		
	300 12"	400 16"	600 24"	
2.0 m 6'-6"	38x184 2x8	38x184 2x8	38x140 2x6	
2.5 m 8'-2"	38x184 2x8	38x184 2x8	38x184 2x8	
3.0 m 9'-10"	38x184 2x8	38x184 2x8	38x184 2x8	
3.5 m 11'-5"	38x184 2x8	38x184 2x8	38x235 2x10	
4.0 m 13'-1"	38x235 2x10	38x235 2x10	38x286 2x12	

Post Sizing		
Post Size	Max Height	Max Supported Area
140 x 140 (metric) 6x6 (imperial)	2.0 m 6'-6"	13.67 m ² 147.14 ft ²
	2.5 m 8'-2"	9.32 m ² 100.32 ft ²
	3.0 m 9'-10"	6.35 m ² 68.35 ft ²
	3.5 m 11'-5"	4.41 m ² 47.47 ft ²

General Notes

1. A site plan or survey is required showing all lot lines & dimensions, size and location of all existing buildings and decks.
2. Lumber No. 2 SPF or better. Solid wood posts required. Use corrosion resistant spiral nails or screws.
3. A deck is not permitted to be supported on/by brick veneer or other non-loadbearing cladding.
4. Concrete piers shall bear on undisturbed soil, minimum 1.2 m (3'-11") below finished ground.
5. Maximum height for post sizing refers to the height of the post from the top of the pier to the deck surface.

*Sizes in metric are mm, unless otherwise specified.



SPECIFY METHOD OF ATTACHMENT TO STRUCTURE (I.E. FOUNDATION WALL OR STRUCTURAL WOOD FRAMING)
 DECK IS NOT PERMITTED TO BE SUPPORTED ON BRICK VENEER OR OTHER NON-LOADBEARING CLADDING

PROVIDE LANDING DIMENSIONS AND CONSTRUCTION

Guard Construction: Please check one and supply details if required:

- Cantilevered Picket Wood Guard, SB-7
- Post & Rail Wood Guard, SB-7
- Engineered Guard (Provide Specifications and Connection Detail. Must Comply with 2012 OBC)

Include the following information on your siting/survey plan:

1. Deck location
2. Deck area
3. Dimensions from the edge of deck to property lines
4. Lot coverage (Percentage showing how much the deck covers the yard in which it is located)

Town of Ajax
 Building Department
 Deck Plan Requirements

